



CITY OF GREENLEAF

20523 North Whittier Drive
Greenleaf, Idaho 83626

RESOLUTION NO. 148
(Design Review Guidelines)
Sponsored by: Ryan Schnuerle

A RESOLUTION OF THE CITY OF GREENLEAF, IDAHO, ESTABLISHING DESIGN REVIEW GUIDELINES FOR THE CITY OF GREENLEAF; DECLARING THAT ALL PREVIOUS RESOLUTIONS, ORDERS OR PARTS THEREOF IN CONFLICT ARE NULL; DECLARING THAT IF ANY PART OF THIS RESOLUTION IS DECLARED TO BE INVALID BY A COURT OF COMPETENT JURISDICTION, THEN THE REMAINING PORTION SHALL REMAIN IN EFFECT; PROVIDING AN EFFECTIVE DATE; AND DIRECTING THE CITY CLERK TO ASSIGN THE NEXT RESOLUTION NUMBER IN SEQUENCE.

WHEREAS, Title 3, Chapter 16 (Design Review) of the City of Greenleaf Land Use Development Ordinance requires application of design review guidelines; and

WHEREAS, the Planning and Zoning Commission (P&Z) for the City of Greenleaf has recommended revised Design Review Guidelines for the City of Greenleaf,

NOW THEREFORE, BE IT RESOLVED BY THE MAYOR AND COUNCIL OF THE CITY OF GREENLEAF, AS FOLLOWS:

Section 1. That the Design Review Guidelines attached as Exhibit 'A' be incorporated herein, adopted and established as the Design Review Guidelines for the City of Greenleaf.

Section 2: That all previous resolutions, orders, or parts thereof in conflict with this Resolution are hereby null and void to the extent of the conflict.

Section 3: That if any part of this resolution is declared to be invalid by a court of competent jurisdiction, then the remaining portion shall remain in effect.

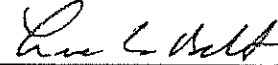
Section 4: That this resolution shall go into effect immediately upon adoption by the City Council.

Section 5: Upon adoption the City Clerk is hereby directed to assign the next resolution number in sequence and enter this resolution in city records as an official document and action by the City Council of the City of Greenleaf.

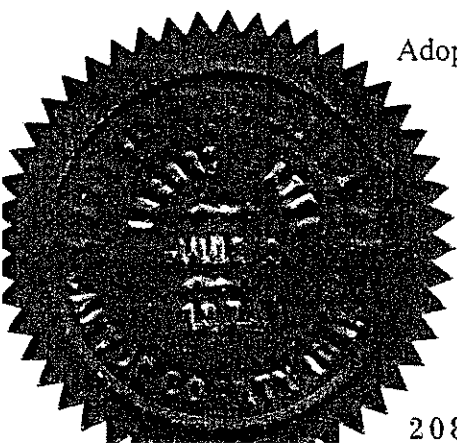
Adopted by the City Council of the City of Greenleaf this 05th day of October 2010.


Bradley Holton, Mayor

Attest:


Lee C. Belt, City Clerk

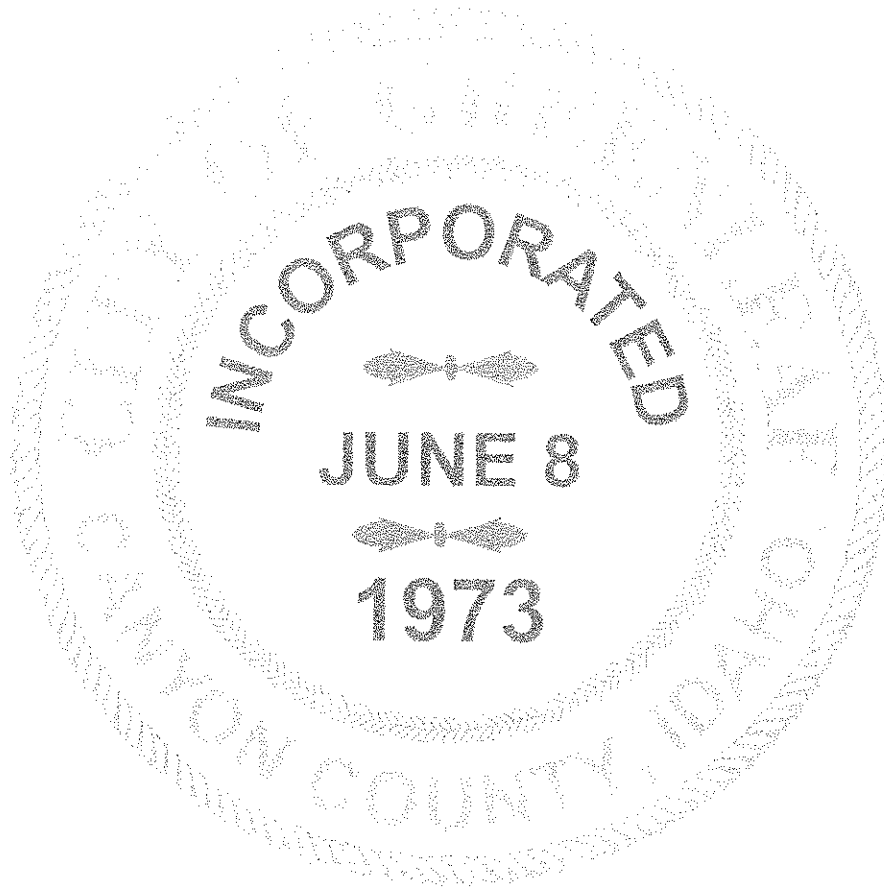
Resolution #148, p. 1 of 1





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City of Greenleaf

Design Review Guidelines



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THE PROCEDURE FOR DESIGN REVIEW

Step 1:

Know your site and development needs.

Step 2:

Determine whether your project is classified as a Historical site or building. See page 5 for classification determination. If the building or site is classified A or B, please fulfill the requirements outlined on page 5 and then proceed to the next step.

Step 3:

Review the Basic Design Goals (pg. 4) and the District Goals (pg. 4).

Step 4:

Review Guidelines and the Design Review Checklist (pg. 3).

Step 5:

Meet with staff for question and answer.

Step 6:

Design the project.

Step 7:

Submit all required information as outlined in Greenleaf City Code.

Step 8:

Staff review.

Review by committee at a public hearing.

Step 9:

Approval or Rejection

Submit plans for building permit. Appeal or return to Step 4.



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DESIGN REVIEW CHECKLIST

1. Is this building or construction site classified as an A? (See page 6) If yes, are measures being taken to preserve its historic integrity?
2. Is this project compatible with the surroundings? (See guidelines 1, 2, 3, 4, 5, 15, 17, 24, 27, 29, & 32)
3. Are transportation circulation conflicts avoided and are the transportation circulation needs being met? (See guidelines 8, 12, 13, & 14)
4. Are the negative visual impacts properly buffered? (See guidelines 7, 9, 11, 12, & 19)



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OVERALL DESIGN GOALS

The objective of these guidelines is to establish a design reference for the developer and the reviewer in order to more effectively respond to the vernacular of the City of Greenleaf. It is expected that the following elements of design would be appropriately incorporated into each proposal:

SCALE
HEIGHT
PROPORTION
RHYTHM OF SOLIDS TO VOIDS
PROPORTIONS OF OPENING WITHIN THE FACILITY
ROOF SHAPES
RELATIONSHIP TO THE SITE
SITE FEATURES

DISTRICT GOALS

Commercial

The following goals should be reflected in the design of a commercial use project:

- PRESERVE HISTORIC STRUCTURES AND AREAS
- PRESERVE THE SMALL TOWN CHARACTER AND ENCOURAGE DEVELOPMENT ON THE HUMAN SCALE
- ENSURE COMPATIBILITY OF SURROUNDING STRUCTURES
- ENSURE LOGICAL AND FUNCTIONAL CIRCULATION PATTERNS FOR THE THREE LEVELS OF TRAFFIC. PEDESTRIAN, AUTOMOBILE, SERVICE/DELIVERY.
- ENSURE THE HUMAN SCALE STREET SCAPE CONSISTENT WITH THE CITY VERNACULAR AS INTERPRETED BY THE COMPREHENSIVE PLAN.

Residential

The following goals should be reflected in the design of a residential use project:

- PRESERVE HISTORIC RESIDENCES
- PRESERVE RESIDENTIAL CHARACTER AND INTEGRITY BY MAINTAINING DEVELOPMENTS ON THE HUMAN SCALE.
- INSURE COMPATIBILITY OF SURROUNDING NEIGHBORHOODS.
- PRESERVE NATURAL FEATURES OF THE EXISTING LANDSCAPE AND ENVIRONMENT.



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HISTORIC STRUCTURES AND AREAS

PRESERVE HISTORIC STRUCTURES AND MAINTAIN THEIR HISTORIC INTEGRITY

Building Classification

1. Class A. Buildings existing in 1945 which have architectural, historical and/or neighborhood significance.
2. Class B. Buildings not classified as A.

Special Requirements For Buildings In A Designation.

1. "A" Buildings: Any building classified as A, or any part of appurtenance thereof, including but not limited to walls, fences, light fixtures, steps, driveways, parking areas and paving shall only be moved, reconstructed, altered or maintained in a manner that will preserve its historical, architectural and neighborhood significance. When making that determination, recognition shall be given to the design and placement of buildings previously on the site and their past relationship with surrounding buildings.
2. Demolition or removal of "A" Buildings: Should a property owner want to demolish or remove a building classified A, a four (4) month notice of the proposed demolition or removal shall be given before a demolition or removal permit is issued. The owner of the affected building shall cause notice to be published in a newspaper of general circulation at least two (2) times prior to demolition or removal. The first notice shall be published no later than fifteen (15) days after the application for a permit for demolition or removal is filed and the final notice shall be published approximately fifteen (15) days prior to the date of demolition or removal. The purpose of this section as to further the purposes of this ordinance by preserving buildings classified A or B which are important to the architectural, historical and neighborhood significance of the City, and to afford the City, interested persons, historical societies or organizations the opportunity to acquire or to arrange for preservation of such buildings.
3. Negotiation to avoid demolition: During this four (4) month period, the Commission may negotiate with the owner of the property and with any other parties in an effort to find a means of preserving the property. Such negotiations may include relocation to a new site, or inducements to interested third parties to purchase the property for the purpose of preserving it.



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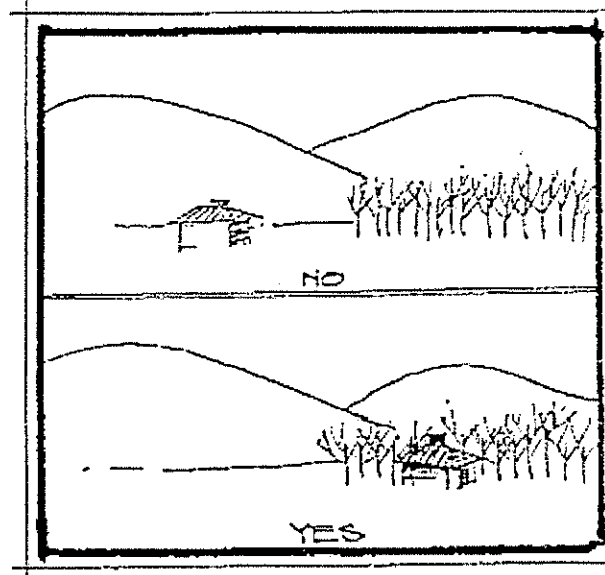
GUIDELINES

Site Planning

GUIDELINE #1 Building should be sited in a manner that preserves existing land forms.

Natural landforms are important in creating the appeal and the special character of Greenleaf. The objective is to fit buildings to their sites in a way that leaves natural massing and features of the landscape intact. The most prominent parts of the sites should be left in their natural condition. In general construction should be placed in one of three locations:

1. within tree masses,
2. at the edge of tree or land masses over looking open space or,
3. in such a way to preserve the predominate features of the site.



The object is to scale each building so that it does not dominate the site.

GUIDELINE #2 New construction should be compatible with existing adjacent buildings and uses.

When planning new construction, analyze the setting for the new building. Look at the siting and mass of other good examples of buildings in the neighborhood. Notice the setbacks, heights, parking arrangements and building shapes. Observe the building forms and materials of surrounding buildings. Be aware of the elements that are repeated nearby, such as certain roof pitches, window shapes and porch and entrance orientations. Notice how building materials such as shingle siding and window trim have traditionally been used. New construction should blend with the neighborhood. Consider the relationship of color, texture, and materials between existing and proposed structures as well as height, bulk and configuration. Relate the location of site uses with adjoining properties to avoid possible conflicts and take advantage of mutual potentials. For example, do not create noise, traffic, or use nuisances for adjacent properties.

PLEASE NOTE THAT COMPATIBLE DOES NOT MEAN IDENTICAL – Variety in architectural form and landscaping should be used to avoid the 'cookie cutter' effect that comes from rows of homes that look the same. If a future occupant is returning home drunk in the dark



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of night, the neighborhood design should not encourage the likelihood of mistaking a neighbor's home for their own.

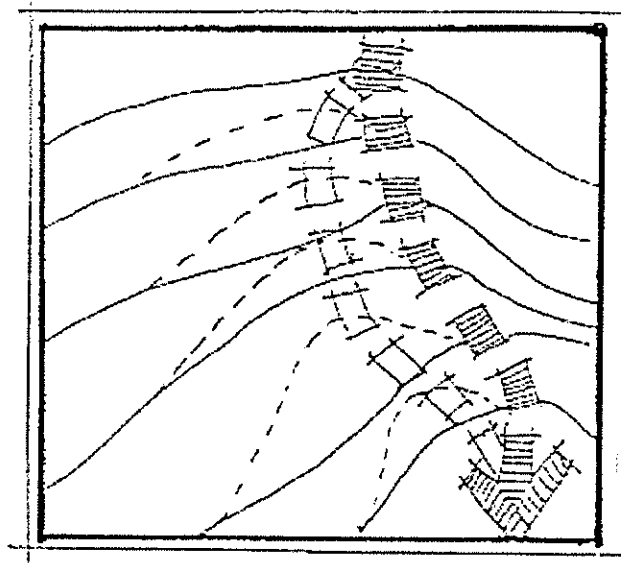
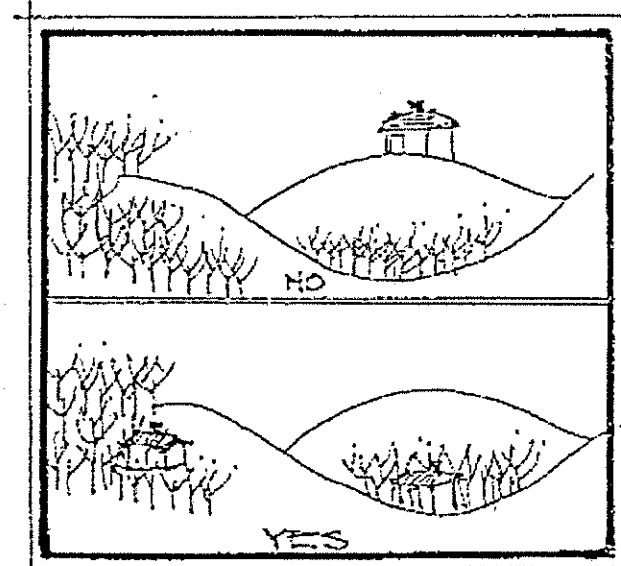
GUIDELINE #3 Buildings should be sited in a manner that preserves significant vegetation. New construction and landscaping shall respect and be compatible with natural vegetative patterns. Consult Landscape and Site Design Section Guidelines #26-#39 for additional discussion.

GUIDELINE #4 Buildings should be sited in a manner that preserves significant views.

Views from three vantage points are critical in the siting of buildings. Looking at the site from other areas, looking at other areas from the site and looking through the site from key places within the project. The City's primary concerns relate to maintaining views both to the site and features beyond. Projects should be designed so they complement rather than dominate the natural landscape. Views should also be considered in the preparation of a landscape plan, particularly where plant material will be considerably larger at maturity. Onsite simulation of accurate photographic simulations may be required that adequately describe the proposals impact on views.

GUIDELINE #5 Buildings should be sited so that their form does not break prominent skylines.

Skylines are considered to be ridges or hilltops that do not have backdrops behind them. Buildings which are silhouetted against skylines as seen from prominent places give the town a sense of confinement which detracts from the natural views.





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GUIDELINE #6 Site design should not change natural drainage patterns.

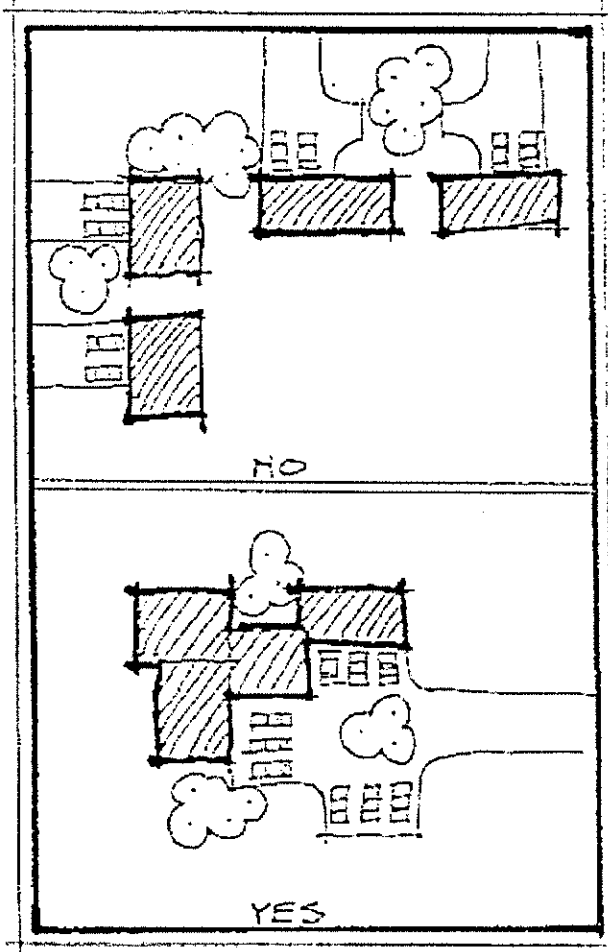
Site grading should be sensitive to existing land forms and topography in the area so that the natural setting may be preserved to the greatest extent possible. Every effort shall be made to minimize the limits of construction on the site. Abrupt grade changes within tree drip lines shall be avoided. When modifications are necessary, surface drainage systems such as swales and retention basins are preferable to underground systems. Drainage designs should avoid the concentration or runoff and acceleration of the area or runoff. Site design shall be executed in a way that will avoid drainage impacts such as erosion and road damage both on-site as well as downstream. Slopes shall be no steeper than 3-to-1 unless qualified soils engineering information is presented. Cuts and fills should have good surface drainage and must be re-vegetated and terraced or controlled by retaining walls to protect against erosion and sedimentation.

GUIDELINE #7 The clustering of buildings and parking is encouraged.

Cooperation among adjoining land owners to achieve coordinated development is encouraged. Efficiencies in design result from building clustering in larger projects. Service needs can be combined in a central location. Access roads and utility services to scattered areas within site can be reduced and disruption of natural land forms and vegetation can be minimized through clustering. Building clustering also generally results in a visually more cohesive design solution. Clustering can also provide more usable open space.

GUIDELINE #8 The alignment of roads and driveways should follow the contours of the site.

By meandering roads to follow land forms it is possible to minimize cuts and fills, preserve natural drainage patterns, and produce roads that are easily negotiated. Consideration should be given to winter weather. Planned roads need to provide connectivity to existing city streets. Slopes shall not be in excess of 7%.



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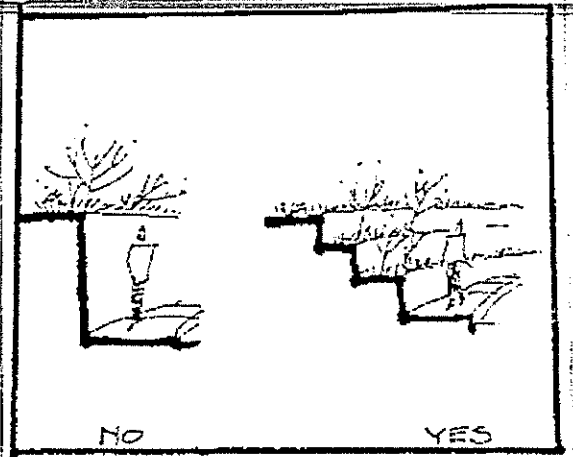


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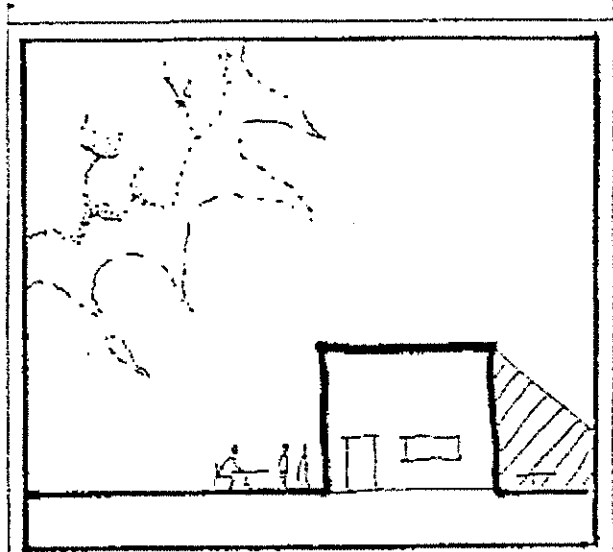
GUIDELINE #9 Retaining walls must be designed to minimize their impact on the site.

Retaining walls, where visible to the public and/or to residents or employees of the project, should be no higher than four feet or terraced with a three foot horizontal separation of walls. They should be constructed of materials that are utilized elsewhere on the site, or of natural or decorative materials, rather than solid or flat surface. Landscaping should be provided within or in front of extensive retaining walls. Retaining walls should add rather than detract to the appearance of the site.



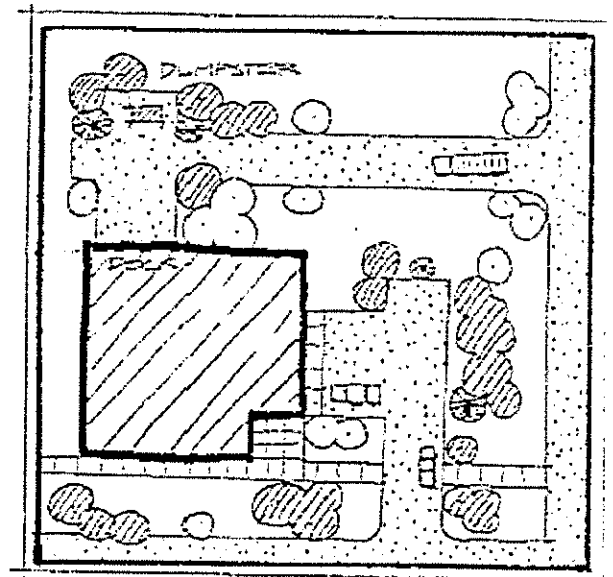
GUIDELINE #10 Consider sun in exterior space to avoid creating cold unpleasant exterior areas.

The objective is to create exterior spaces around buildings that will be used and also that will be easy to keep clear for access to buildings. In the winter, places that are mostly in shadow may be cold and unusable while places in sunlight will get used. Things to bear in mind: buildings, vegetation and land forms can cast shadows and block sunlight; the surface of a building can play a big role in reflecting sunlight into adjoining exterior spaces; color and choice of materials are important in this regard.



GUIDELINE #11 Site design must consider the placement and screening of service areas and auxiliary structures.

Utility meters and service functions should not be visible on the primary facades of buildings or in front yard areas. Minimize the visual impact of trash storage and pickup areas. Screen trash and service areas with landscaping, berming or fencing. Provide three-sided enclosures for trash collection areas visible from any public street. Consider snow accumulation in planning access to trash receptacles and service areas. Outdoor vending machines shall not face Main Street and





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should not directly face any public street. Vending machines shall not be internally illuminated if clearly visible from any public street.

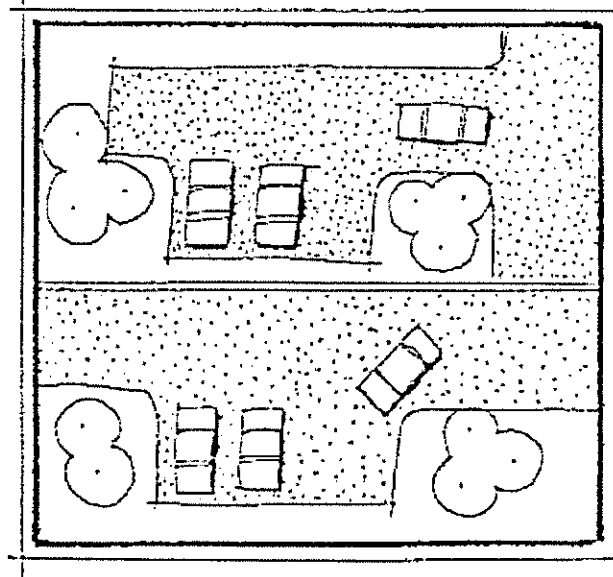
GUIDELINE #12 Minimize the visual impact of off-street parking and loading areas in commercial development.

Parking should be located to the rear of buildings or screened so that it does not dominate the streetscape. Fences, hedges, berms and landscaping may be used to screen parking areas. In the design of large parking areas arrange bays of stalls that are separated by landscaping. Design the landscaping to provide snow storage areas in the winter. When parking lots occur on sloping terrain, step the parking lots to follow the terrain rather than allowing the lot surface to extend above natural grade. Loading areas should facilitate deliveries with little visual impact to other users of the area.

When loading areas and docks cannot be located in a segregated area of the building it must be screened or buffered to de-emphasize the docks location and the trucks that perform the deliveries. Sufficient truck storage should be maintained on-site to allow efficient delivery service without conflicts while that service is being performed.

GUIDELINE #13 On-site parking must be designed to allow vehicles forward entry and exit from the site.

Parking design that proposes the use of the street frontage as the approach for each parking stall are discouraged. Developing a single approach helps confine vehicular/pedestrian conflict to limited locations, allows more buffering of the parking area and can preserve the street frontage for pedestrian traffic.



GUIDELINE #14 Conflicts between different transportation circulation needs and uses should be minimized. There are three major types of circulation used in most development settings. They are service/delivery, clientele or general automobile, and pedestrian. The designer should identify location where these activities take place and make clear separation between the uses. These circulation patterns should be connected to the general circulation patterns legibly and conflict free. Consideration should be given to off-site uses that will effect onsite circulation. Delivery trucks should be able to operate without blocking public rights-of way. Pedestrians should be able to access the development from existing pedestrian walkways with little or no traffic conflict. Drop off zones large enough for buses are encouraged in major developments.



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GUIDELINES

Architecture

GUIDELINE #15 Building designs should enhance and/or continue the classic styles found in Greenleaf.

New interpretations of historic details may be introduced. False western storefronts will generally be discouraged. The design styles of the following Greenleaf buildings will be encouraged: 20535 N. Academy Rd. (Greenleaf Friends Church), 20565 N. Academy Rd. (Greenleaf Friends Academy), 20736 N. Academy Rd. (historic residence), 21413 Binford St. (new residence style incorporating traditional stone/brick design elements)

GUIDELINE #16 Building designs should attempt to minimize the apparent scale of buildings.

The use of the human scale can help to create the small town feeling and enhance the “sense of place”. Some of the ways this can be achieved is by utilizing voids and masses, as well as details, textures, and colors on building facades. Flat roofed buildings over two stories in height should incorporate roof elements, or upper decks, balconies or other design elements where the upper portion of the building is stepped or angled back, in order to avoid a boxy appearance. Another way is to define the human area by structural elements like colonnades and covered walkways, overhangs, canopies, entries, landscaping, berms, and screening walls, creating interest at the street level. Human scale is accomplished by maintaining the interest at a smaller scale and defining those spaces. Buildings that are not human scale are structures that are typically massive, simple forms with little or no variation of voids -vs.- mass and little or no fenestration and detail. Such buildings are discouraged. A large building can be human scale with the use of the elements listed above. Human scale buildings create a comfortable and friendly atmosphere. Doors, windows, roof shapes, siding, lighting, and signs should all be considered carefully in order to create an appropriate scale of development. The natural appeal of Greenleaf will be enhanced through the addition of buildings that complement rather than dominate the landscape.

GUIDELINE #17 Any addition to an existing building should be designed to appear as though it were part of the original building, or appropriately designed to enhance the original building.

Additions should carry through roof lines, materials, colors, and/or other architectural features that are primary features of the original building. Alternatively, the original building may be altered to appear to be an extension of the new building, in order to achieve the goals of these guidelines.

GUIDELINE #18 Roof lines of buildings should be designed to be compatible with building forms that enhance the character of the City.

GUIDELINE #19 Mechanical equipment and solar panels on roofs must be hidden or de-emphasized so that it is not readily visible from nearby properties.



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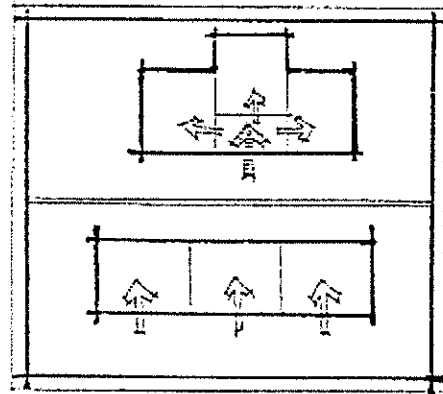
Roof to access, stairways, elevator shafts, vent shafts, mechanical equipment areas, antennae, etc., shall be confined with the new roof or within roof dormers and shall not protrude from the roof to form awkward looking appurtenances. Skylights and solar panels must be designed to fit flush with the roof's surface of up to a maximum of 2' above the roof's surface. No reflective materials may be used unless thoroughly shielded to prevent reflection onto adjoining or nearby properties. The use of alternate energy sources is encouraged, however, the hardware associated with these features should be incorporated as an integral part of the building's design rather than as an add-on which detracts from the building and its surroundings.

GUIDELINE #20 Multi-unit structures should emphasize the individuality of units or provide visual interest by variations in roof lines or walls, or other human scale elements.

The small scale of the historic residences and shops is an important characteristic of Greenleaf. Breaking the facades and roofs of buildings softens the institutional image that may often accompany large buildings. The form and massing of Greenleaf's original buildings, but not building details, may provide direction for the form and massing of new buildings.

GUIDELINE #21 Doors should be located in a manner that complements the design of the building as well as serving their intended function.

Excessive numbers of exterior doorways may give a building a dormitory-like character. The use of common entry ways in protected locations may also contribute to energy efficiency. Where possible, doors should open onto exterior areas that receive sunlight.



GUIDELINE #22 Building should be constructed of wall materials that are similar in texture and finish to those found historically in Greenleaf.

The use of natural materials such as wood, brick, stucco and stone is encouraged. Wall materials should convey a sense of human scale and warmth. Stones should be laid in a manner that conveys the appearance of a structural element rather than as a veneer facing.

GUIDELINE #23 Shop fronts design should be simple and direct and depend mainly on views of the interior of the shop and merchandise for interest.

It is recommended that consideration be given to protecting shop views from the elements by providing arcades, porches, or overhangs. Signage must be designed to complement the building design, scale and coordinate with other tenants. Shop fronts should avoid gimmickry, garishness, and excessive ornamentation.

GUIDELINE #24 Exterior wall colors should harmonize with the site and surrounding buildings.



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On exterior walls the predominant tone should tend toward warm earthy hues, whether in the natural patina or weathered color of the wall surface itself or the color of the paint, stain or other coating. Accent colors on the wall surfaces can enliven buildings, however, their location would be confined to entries and gatherings points that do not disrupt the overall harmony of the area. Bright and dramatic color can be used for accent on exterior wall areas hidden from general view. In most cases only one or two accent colors should be used in addition to the base color. Doors may be painted a bright accent color or they may be left natural wood finish. Harshly contrasting color combinations should be avoided. Brilliant, luminescent, or day-glow colors will not be approved. The colors found in the landscape around Greenleaf, the dark green of forests, the gray-brown of the desert hills, blue-green of the sagebrush and the tan of grasses all relate well to stone, brick and masonry of Greenleaf's construction. Color samples should be presented to the Commission on sample boards large enough to provide adequate representation. Color renderings of the front façade should also be presented.



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GUIDELINES

Landscaping and Site Design

GUIDELINE #25 Exterior light fixtures should be simple in design, and shall comply with the Greenleaf City Code Title 9, Chapter 15 'Street Lights'.

Light fixtures should enhance the architecture and overall project design. Street lighting in commercial districts shall be in accordance with the City's adopted Standard Improvement Drawings.

GUIDELINE #26 The design of fences and walls should harmonize with the site and the buildings on it in scale as well as in materials.

Walls and fencing may be required elements in a site design for privacy, property line delineations, or screening. Low walls for seating are also encouraged as an amenity in pedestrian areas; these should be capped with a surface at least 12 inches wide. The placement of walls and fences should respect existing land forms and follow existing contours and fit into existing land massing rather than arbitrarily following site boundary lines.

Fencing should not dominate the buildings of the landscape. Planting may often be integrated with fencing scheme in order to soften the visual impact. The tops of fences should generally be maintained horizontal. If the ground slopes the fence should be stepped. Fences intended to provide private areas should be kept close to building so as not to adversely impact common open area.

Fencing which is away from buildings should be of a more open character than fences intended to provide privacy close to houses. Fencing materials should be compatible with the materials and color of the surrounding or the prevailing building materials and color in adjacent developments.

GUIDELINE #27 Retaining walls should be compatible in form, scale, and materials with the architectural details and materials of nearby buildings.

Retaining walls may not be faced with any material disallowed for buildings. Rock facing on walls should be applied in a manner that makes the rock appear as a structural element rather than a veneer. Textured, specially formed and sand blasted concrete are encouraged wall materials. Retaining walls over 24" high may require railings or planting buffers for safety. Low retaining walls may be used for seating if capped with a surface of at least 12 to 16 inches wide.

GUIDELINE #28 The use of conservative paving patterns and texture to delineate function and give variety to the setting is encouraged, provided it is consistent with the overall concept of the development.



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Other streetscape appurtenances (i.e. street lighting fixtures, trash receptacles, benches, etc.) shall be designed and installed according to adopted City Standards where such standards exist.

The specific design requirements of all public sidewalks are outlined following these guidelines.

GUIDELINE #29 Consider all the elements of a landscape.

A landscape plan should provide or create a pleasing site or landscape character for an area. A harmony of all the various elements of a landscape must be retained or developed. Exploit the natural features in the landscape such as water, view, and orientation. Design these features into the scheme and orient them.

On those sites where the existing vegetation is considered a significant attribute of the site, the siting and design of buildings shall retain the existing vegetation wherever possible. In those developments that adjoin native vegetation, the landscape should reflect the native vegetation patterns and plant materials. Outward orienting portions of the landscape shall be planted with the same species of plants that are found on the adjacent undisturbed areas. New plantings would blend in with the existing landscape so that several years hence all traces of the site disturbance will have disappeared.

Proper landscaping transition to adjacent properties and natural areas should be provided without strong demarcation. All disturbed areas must be re-vegetated. Landscaped areas should be planned as an integral part of the project and not simply located in leftover space on the site.

GUIDELINE #30 Consider site conditions, drought tolerance, and hardiness when selecting plant species.

Soil conditions, exposure, wind, temperatures and other factors vary within different areas of the City, and these factors should be considered in the choice of plant materials. Plant species selected should be compatible with the activity of the particular areas. In landscape plans including more than 10 trees, a minimum of 10% of the trees shall be at least 4-inch caliper, 20% shall be at least 3-inch caliper, and 20% shall be at least 2 ½ -inch caliper.

Drought tolerant plant species shall be used wherever possible to reduce water demand. High water demand plant materials shall be kept to a minimum and confined to areas adjacent to patios and entries, in active sports areas, and in natural water courses. Only plant materials hardy to Greenleaf's environment shall be used. A maximum of 20% of any single tree species may be used in any landscape plan (excluding street trees).

Any tree listed in the City of Greenleaf Tree Selection and Planting Guide may be used. Trees not listed in this Guide may be used upon approval by staff. Street trees must be approved by staff.



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The City of Greenleaf Tree Selection and Planting Guide is recommended for use by applicants, and is incorporated in its entirety herein.

GUIDELINE #31 Keep lawn areas to a minimum in projects surrounded by native vegetation.

Projects surrounded by native vegetation may have turf in areas with limited public visibility (i.e. enclosed courtyards), active play areas or small maintained portions of a project. Excessive amounts of turf in these “native” areas will not be allowed. Instead, native, drought tolerant grasses and vegetation should be used to help the project blend in with the surrounding vegetation.

Projects in more urban areas with small yard areas may use turf and non-native plant materials more extensively.

GUIDELINE #32 When plant materials are used to screen areas such as mechanical equipment, parking lots, loading docks or storage areas that are adjacent to natural sites, the plant materials should be massed in groups rather than located in a straight line.

Although the informal or natural design is preferred there may be some urban areas that are appropriate for formal design. Some examples might be urban plazas, and some streetscapes.

GUIDELINE #33 Utilities, cables, phone lines and electrical must be underground.

The long range goal is to bring all types of utility lines underground. The clutter created by poles and overhead lines is unacceptable.

GUIDELINE #34 Use landscaping to mitigate the visual impact of parking lots.

Well placed groups of appropriate trees and shrubs can improve the appearance of these vast expanses of asphalt. It is recommended that at least one-fourth of any such parking area larger than 5,000 square feet be shaded by planting trees and shrubs. The object is to create a park or architectural form in what is otherwise a waste land.

GUIDELINE #35 All projects must provide an irrigation system.

Landscape plans must include an irrigation system. Items of most importance include full coverage; water conservation through proper design; and automatic systems for commercial, industrial, condominium and large-scale residential projects. Low water consumption irrigation systems are encouraged. Wherever possible, overhead spraying systems should be avoided to prevent water loss through evaporation. In particular, island areas and sidewalk borders are susceptible to overspray and water waste.

Storm water runoff shall be retained on the site wherever possible and used to irrigate plant materials. Even native, drought tolerant plant materials need water to become established.



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Projects which use all native, drought tolerant plant materials must provide, at a minimum, a temporary irrigation system which must fully operate for at least two complete growing seasons. All native plant materials are not drought tolerant and those that are not will require irrigation on a permanent basis.

GUIDELINE #36 Significant existing vegetation is an attribute to any site and the vegetation should be retained wherever possible.

Protected areas may be established on building sites because of important or sensitive environmental or physical characteristics. Areas that are not disturbed do not have to be revegetated and projects which retain existing vegetation are much more desirable. In addition, the more area left undisturbed as a result of construction, the less erosion problems will be produced from the site.

Builders and developer should avoid the following hazardous situations, all of which can kill trees.

1. Placing back fill into protected areas or on top of roots of trees to be saved.
2. Felling trees into protected areas.
3. Driving construction equipment into or through protected areas.
4. Bumping into trees with construction equipment or driving over the top of their roots.
5. Burning in, or in close proximity to protected areas.
6. Staking or storing supplies in protected areas.
7. Changing site grades which cause drainage to flow into, or to collect in protected areas.
8. Changing soil elevation on existing trees which causes the roots be exposed or the trunks to be covered with soil.

GUIDELINE #37 Existing trees greater than 6" caliper are considered a resource in the City of Greenleaf and the removal of any are subject to review.

Proposed site plans shall inventory and delineate to scale all existing plant material to be saved. Removal of trees larger than 6" caliper require approval. Any tree or other plant material destroyed or mortally injured after previously being identified to be preserved, or removed without authorization, must be replaced with a large specimen of the same or similar species and variety.

GUIDELINE #38 All final grading and drainage is required to comply with of the International Building Code.

Make sure there is positive drainage away from buildings and that the final grade meets the provisions prior to the installation of irrigation systems and plant materials. Guarantees will not be released until the final grading and drainage is found to be acceptable.



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GUIDELINE #39 Once the irrigation system and plant materials have been installed, a maintenance program must begin.

Be sure to program funds for maintenance costs into the project budget. Guarantees and/or retainers for landscaping (letters of credit or escrow agreements) will not be released until the project appears in a well maintained condition (i.e., all weeds removed, dead plant materials removed and replaced).

Expect to apply an extensive weeding program to the project for the first three years. For optimum efficiency and coverage, irrigation systems must be periodically tested and adjusted. All dead plant material must be replaced as soon as practical. It may be necessary to re-stake trees and repair broken branches on trees in the spring.

Periodically, plant materials should be fertilized and checked for insect infestation and disease.



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SITE DESIGN STANDARDS

Sidewalks

The City standard for public sidewalks is a 4' or 5' wide cast in place concrete sidewalk with score lines and expansion joints on a 4' square grid and broom finish. The Greenleaf Planning and Zoning Commission may, as part of their review of any development, approve public sidewalks which vary from this standard. The commission will ensure that variations from the City standard meet the following criteria:

Acceptable Material

All proposed sidewalk installations which vary from City standards must be installed in such a manner that the color, texture, pattern or other design feature of the material directly integrates with both the proposed development and City sidewalks. All materials must be installed to City standards, or, where standards do not exist, to high quality industry standards as approved by the City Engineer. Compaction of base materials for any public sidewalk must meet City standards. The following materials may be approved by the Commission:

- Cast in place concrete.
- Colored and imprinted; or colored, imprinted, and textured cast in place concrete. Colors shall be integrated into the concrete prior to the pour.
- Hardened concrete pavers or flat stone on a compacted sand base.
- Tile, ceramics, or stone installed in cast in place concrete.
- Saw – cut wood planks no less that 10" wide and no less that 3" thick.
- Asphalt paths 6', 8', or 10' wide, only in residential, recreational, or industrial areas, and physically separated from automobile travel lanes.
- Other surfaces which meet the approval of the City. Said surfaces must be durable, attractive, low – maintenance and must not be smooth or slippery.

Surfaces

All public sidewalks installed shall meet the American National Standard for accessible facilities as found in CABO, ANSI A117.1 – 1992, Section 4.5, as amended or modified.

Trees

Any trees planned or required for integration within the sidewalk shall be placed in such a manner as to not obstruct either pedestrian traffic or motor vehicle visibility. Trees must be a minimum 2" caliper at chest height, must be a species approved by the City, and must be placed in a planter area covered by a cast iron or steel grate. The tree grate should integrate with the design of the project and have no opening, exclusive of that for the tree, more than ½" wide.

Process

Any applicant proposing a sidewalk that varies from City standards shall provide the City with a plan showing dimensions, materials, colors and patterns for the proposed sidewalk. That plan shall include a drawing of the adjacent sidewalks. The applicant shall also provide a cross section



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of the planned improvement that depicts and provides standards for sub base, base and surface materials and compaction. The applicant will also provide a written statement assuming responsibility for maintenance of the sidewalk. The City shall review the proposed sidewalk to ensure that it will meet the criteria of this section.



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DEFINITIONS

CLUSTERING

Clustering (also called Compact Development) refers to land use patterns in which related activities are located close together, usually within convenient walking distance. Clustering improves accessibility by reducing travel distances and improving transportation options. It is an important part of land use management strategies including access management, location efficient development, new urbanism, smart growth, and transit oriented development.

Source: Victoria Transport Policy Institute, TDM Encyclopedia, "Land Use Density and Clustering" <http://www.vtpi.org/tdm/tdm81.htm>

HUMAN SCALE

In human-scale neighborhoods, a wide mix of housing types is clustered around one or more well-defined neighborhood centers which support jobs, commercial activity, and a range of amenities. The neighborhood is scaled to the pedestrian, offering sufficient variety within a five to fifteen minute walk — a quarter to half mile — to sustain lively streets and gathering places. It offers a gradient of density, from open spaces to high-density commercial cores. The layout of pathways, streets, and transportation corridors minimizes conflict between walking, biking, and driving, and provides effective and affordable transit access to other neighborhoods and regional centers.

Source: Reliable Prosperity http://www.reliableprosperity.net/humanscale_neighborhoods.html

PROPORTIONS OF OPENING WITHIN THE FACILITY

Windows and doors come in a variety of shapes and sizes; even rectangular window and door openings can appear quite different depending on their dimensions. The relationship of the height of windows and doors to their width should be visually compatible with the architectural style of the building and with that of its neighbors.

Source: Design Review Ordinance Chapter 22 Section VII.C., Town of Freeport, Maine
http://www.freeportmaine.com/inc/scripts/file.php?file_id=1048

RHYTHM OF SOLIDS TO VOIDS (IN FRONT FACADES)

When you look at any facade of a building, you see openings such as doors or windows (voids) in the wall surface (solid). Usually the voids appear as dark areas, almost holes, in the solid and they are quite noticeable, setting up a pattern or rhythm. The pattern of solids and voids in the front facade of a new or altered building should be visually compatible with that of its neighbors.

Source: Design Review Ordinance Chapter 22 Section VII.C., Town of Freeport, Maine
http://www.freeportmaine.com/inc/scripts/file.php?file_id=1048