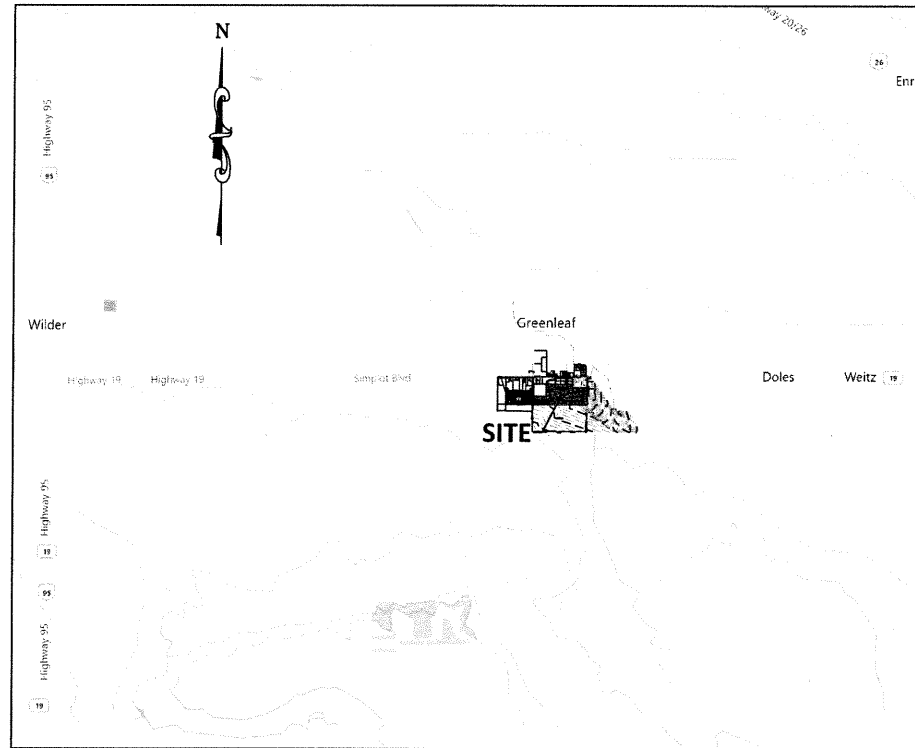


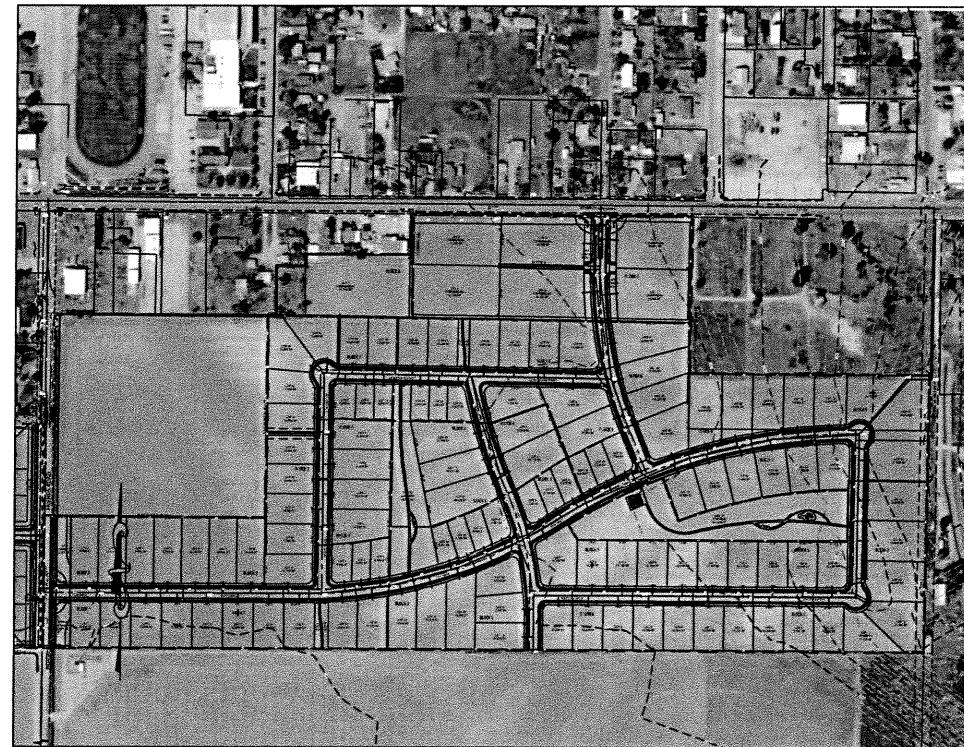
GENERAL LEGEND

- (12") --- EXISTING WATER MAIN (SIZE)
- (8") --- NEW WATER MAIN (SIZE)
- (24") --- EXISTING SEWER MAIN (SIZE)
- (8") --- NEW SEWER MAIN (SIZE)
- FS(6") --- FIRE SERVICE LINE
- OH(12") --- EXISTING OVERHEAD POWER
- --- EDGE OF PAVEMENT
- --- EXISTING FENCE LINE
- --- NEW FENCE LINE
- --- EDGE OF GRAVEL
- --- PRESSURE IRRIGATION LINE
- UGP --- UNDERGROUND POWER
- --- EASEMENT
- EXISTING DECIDUOUS TREE
- SEWER MANHOLE
- EXISTING WATER VALVE
- EXISTING FIRE HYDRANT
- EXISTING WATER METER
- EXISTING SEWER LINE CLEANOUT
- EXISTING POWER POLE
- EXISTING AIR CONDITIONING UNIT
- EXISTING GAS METER
- EXISTING ELECTRICAL METER
- EXISTING TELECOMMUNICATIONS BOX
- EXISTING TELEPHONE JUNCTION BOX
- SPOT ELEVATION
- TOP OF GRATE
- TOP OF ASPHALT
- EXISTING
- FINISHED FLOOR
- MATCH EXISTING
- TOP OF CONCRETE
- TOP OF GRAVEL
- SOILS TEST PIT LOCATION

GENERAL VICINITY MAP



AERIAL MAP



**COVER SHEET
ROYAL RIDGE
SUBDIVISION**

SHEET INDEX

- 1 COVER SHEET
- 2 NOTES
- 3 PRELIMINARY PLAT
- 4 PRELIMINARY GRADING AND DRAINAGE PLAN
- 5 PRELIMINARY IRRIGATION PLAN

PROJECT SPECIFIC INFORMATION

OWNER/DEVELOPER
ROYAL PRO-C, LLC
1020 E. Homedale Road
Caldwell, ID 83607
jason@royalproc.com
(208) 960-2182

ENGINEER
SMITH CIVIL, INC.
ROGER J. SMITH, P.E.
2485 E. Oakborough Ct.
Eagle, ID 83616
roger-j-smith@msn.com
(208) 870-1015

ACREAGE
55.95 acres (2,437,144 SF)

ZONING
RS (Proposed)

IRRIGATION DISTRICT
Boise Project Board of Control

SCHOOL DISTRICT
Caldwell School District

SEWER DISTRICT
Greenleaf

FIRE DISTRICT
Caldwell

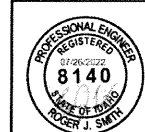
FLOOD ZONE
X

REVISED

Date
July 8, 2022
Project Number
22009
Drawn
R J Smith
Checked
R J Smith, P.E.

**ROYAL RIDGE SUBDIVISION
HWY 19 & FRIEND'S ROAD, GREENLEAF, ID
ROYAL PRO-C, LLC
COVER SHEET**

SMITH CIVIL, INC.
2485 E. Oakborough Ct., Eagle, ID 83616
(208) 870-1015



Sheet

1


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811
Know what's below.
Call before you dig.
The location of existing underground utilities are shown approximately only prior to construction. It shall be the responsibility of the contractor to inform all utility companies of the construction schedule. The contractor shall determine the exact location of all existing utilities before commencing work. The contractor is responsible for any and all damage which may occur by failure to exactly locate and protect all utilities. Call Digline, Inc. before commencing underground work, (800) 342-1585, (208) 342-1585, or 811.

GENERAL CONSTRUCTION:

- All work shall be completed in accordance with the Idaho Standard for Public Works Construction (latest edition), the Highway Standards and Development Procedures for the Canyon Highway Districts, City of Greenleaf requirements and the Project Specifications. The more stringent of any of these standards shall be the controlling standards or specifications.
- The Contractor shall have a copy of the latest Highway Standards and Development Procedures for the Canyon Highway Districts on site at all times during construction (available on the website). Failure to have a current copy of the Standard Specifications on site could be grounds for a stop work order until the situation is resolved.
- The Contractor shall have plans stamped "Approved for Construction" by City of Greenleaf, Canyon Highway Districts, and/or ITD on site at all times.
- All Contractors, Sub-Contractors, and Utility Contractors shall attend a pre-construction conference a minimum of two (2) days prior to commencing any construction on the project.
- Contractors shall notify the appropriate agency when materials are on site or inspection of the work is required. No work may begin on any project without twenty-four (24) hours prior notice.
- All material furnished on, or for the project must meet the minimum requirements of the approving agencies. At the request of the approving agency or the Design Engineer, Contractors shall furnish proof that all materials installed on this project meet the specification requirements set forth in General Construction Note No. 1.
- Work subject to approval by any governmental agency must be approved prior to (A) backfilling trenches for pipe; (B) placing of aggregate base; (C) placing of concrete; (D) placing of asphalt paving.
- Any deviation from the approved plans and specifications must have the applicable agency approval in writing prior to construction.
- Take all lot and site dimensions and easements from the Final Plat for this development.
- The contractor shall maintain all existing drainage and irrigation facilities within the construction area until the drainage improvements are in place and functioning.
- All contractors working within the project boundaries are responsible for compliance with all applicable safety laws of any jurisdictional body. The contractor shall be responsible for all barricades, safety devices and control of traffic within and around the construction area.
- The locations of existing underground utilities are shown in an approximate way only. The contractor shall determine the exact location of all existing utilities before commencing work. The contractor assumes all responsibility for any and all damages caused by his failure to exactly locate and preserve any and all underground utilities.
- Quantity and placement of street lights is contingent upon the electrical design by Idaho Power Company.
- The contractor shall keep on site at all times a copy of the approved construction plans on which is recorded the actual locations of the constructed pipe line and any other utilities encountered. The contractor shall provide these locations to the design engineer for use in the production of record drawings prior to final approval of the pipe line installation.

ROADWAY CONSTRUCTION NOTES:

- All Contractors working within the public road right-of-way are required to secure a right-of-way construction permit from the City of Greenleaf, Canyon Highway Districts, or ITD at least twenty-four (24) hours prior to any construction.
- City of Greenleaf, Canyon Highway Districts, or ITD will inspect all work within the public rights-of-way to include utility trenches above the pipe zone.
- Abandoned buildings, test pits, or waterways located within current or future right-of-way shall be re-excavated to native soil and backfilled with structural fill per ISPWC specifications. Provide soils data to verify native material meets the requirements for engineered fill per ISPWC specifications and a copy of the compaction tests."
- City of Greenleaf, Canyon Highway Districts, or ITD will inspect all work within the Right-of-Ways.
- Set the tops of all valve boxes and sewer manholes flush with the slope of the finished street grades.
- City of Greenleaf, Canyon Highway Districts, or ITD will inspect and approve all storm drainage improvements.
- Place all water valves, blow-offs and manholes so that they do not conflict with any concrete curb and gutter, valley gutter or sidewalk improvements.
- Retain and protect all utilities unless noted otherwise on these plans.
- Compaction shall not be less than 95% of the Standard Proctor Density as determined by ASTM D-698.
- Direction of slope (typical) 
- The contractor is to call Canyon Highway Districts for the inspection of all street construction. 24 hour notice is required. Drainage facilities will not be approved by City of Greenleaf, Canyon Highway Districts, or ITD unless this inspection is performed.
- The contractor shall have a stamped, City of Greenleaf, Canyon Highway Districts, and/or ITD approved, set of plans at the worksite.
- The contractor shall contact Digline 48 hours prior to digging to verify the location of existing utilities.
- All construction in the public right-of-way shall conform to the latest edition of the ISPWC and/or the City of Greenleaf and/or Canyon Highway Districts specifications. No exception to district policy, standards, or the ISPWC will be allowed unless specifically and previously approved in writing by City of Greenleaf, Canyon Highway Districts, and/or ITD.
- If any utility or irrigation facility interferes with required street improvements, all such utilities or irrigation facilities shall be relocated at the owner's expense so as not to interfere with required street improvements.
- Local street Plant Mix Pavement shall be Class II with a nominal maximum aggregate size of 0.5 inch (1/2"). PG-64-28 (Performance Graded Asphalt Binder) shall be used. A minimum of 0.5% Anti-Stripping additive is specified.
- All SD numbers refer to the Idaho Standards for Public Works Construction (ISPWC) Manual Standard Drawings and the Canyon Highway Districts specifications as applicable.
- Prior to placement of any pavement markings contact City of Greenleaf, Canyon Highway Districts, and/or ITD for verification of compliance with policy and existing pavement markings".
- The Contractor shall be responsible for providing and paying for all costs associated with all testing required by the Project Specifications. All tests shall be performed by a certified testing laboratory and certified test results shall be submitted to the Owner's Engineer. Work performed without certified test results shall not be accepted.
- Locate subsurface stormwater disposal facilities (including infiltration beds and drywells) at least 25 feet from water mains. This requirement does not apply to catch basins or sand and grease vaults.

PRESSURE IRRIGATION NOTES:

- Install all crossings of the Public Rights-of-Way, private roadways and travelways with pressure irrigation at a maximum depth of two-and one-half (2-1/2) feet and in an AWWA C-900 pipe sleeve with locator wire. Canyon Highway Districts shall inspect all crossings prior to backfilling.
- The horizontal separation of potable water mains and non-potable water mains (sanitary sewer, storm drain, and irrigation) shall be a minimum of ten (10) feet. Where it is necessary for a potable water main and non-potable water main to cross with less than eighteen (18) inches of vertical separation, the crossing shall be constructed in accordance with Section 542.07 of the Idaho Rules for Public Drinking Water Systems (IDAPA 58.01.08) and Section 430.02 of the Wastewater Rules (IDAPA 58.01.16).
- The horizontal separation of non-potable services and potable water services or potable water mains shall be a minimum of six (6) feet. Where it is necessary for a potable water main and non-potable water main to cross with less than eighteen (18) inches of vertical separation, the crossing shall be constructed in accordance with Section 542.07 of the Idaho Rules for Public Drinking Water Systems (IDAPA 58.01.08) and Section 430.02 of the Wastewater Rules (IDAPA 58.01.16).
- Install finder tape with all irrigation mains. Tape shall be two (2) inches wide, purple in color, with the words **DANGER - UNSAFE WATER** or **NON-POTABLE WATER** clearly marked along its length. Place the tape between six (6) inches below the surface and eighteen (18) inches above the top of the pipe.
- Label all irrigation risers and faucets with durable tags carrying the warning **DANGER - UNSAFE WATER** or **NON-POTABLE WATER**.
- Label all valve boxes and vaults with durable tags carrying the warning **DANGER - UNSAFE WATER** or **NON-POTABLE WATER**. The valves and boxes are to be located a minimum of ten (10) feet outside of the Public Right-of-Way, private roadways and travelways.
- Install a reduced pressure backflow preventer in any connection between the potable water system and the pressure irrigation system. The device must be approved by the Idaho Department of Environmental Quality (DEQ) and the Water Company.
- Provide thrust blocking as required.

1	GENERAL CONSTRUCTION NOTES	2	ROADWAY CONSTRUCTION NOTES	5	PRESSURE IRRIGATION NOTES
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REVISED

Date: July 8, 2022

Project Number: 22009

Drawn: R J Smith

Checked: R J Smith, P.E.

**ROYAL RIDGE SUBDIVISION
HWY 19 & FRIENDS ROAD, GREENLEAF, ID
ROYAL PRO-C, LLC
NOTES**

 2485 E. Oakmeadow, Co. Eng., ID 83416 (208) 338-1015



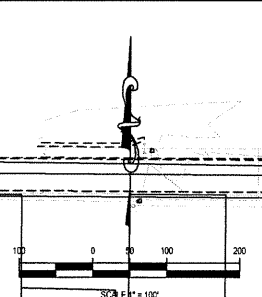
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PRELIMINARY PLAT
ROYAL RIDGE SUBDIVISION

Part of the N 1/4 of Section 16
Township 3 NORTH, Range 3 WEST, Boise Meridian
Canyon County, Idaho
2022



OWNER/DEVELOPER
ROYAL PRO-C, LLC
1020 E. Homedale Road
Caldwell, ID 83607
jason@royalproc.com
(208) 960-2182

ENGINEER
SMITH CIVIL, INC.
ROGER J. SMITH, P.E.
2485 E. Oakborough Ct.
Eagle, ID 83616
roger-j-smith@msn.com
(208) 870-1015

ACREAGE
55.95 acres (2,437,144 SF)

ZONING
R5 (Proposed)

IRRIGATION DISTRICT
Boise Project Board of Control

SCHOOL DISTRICT
Caldwell School District

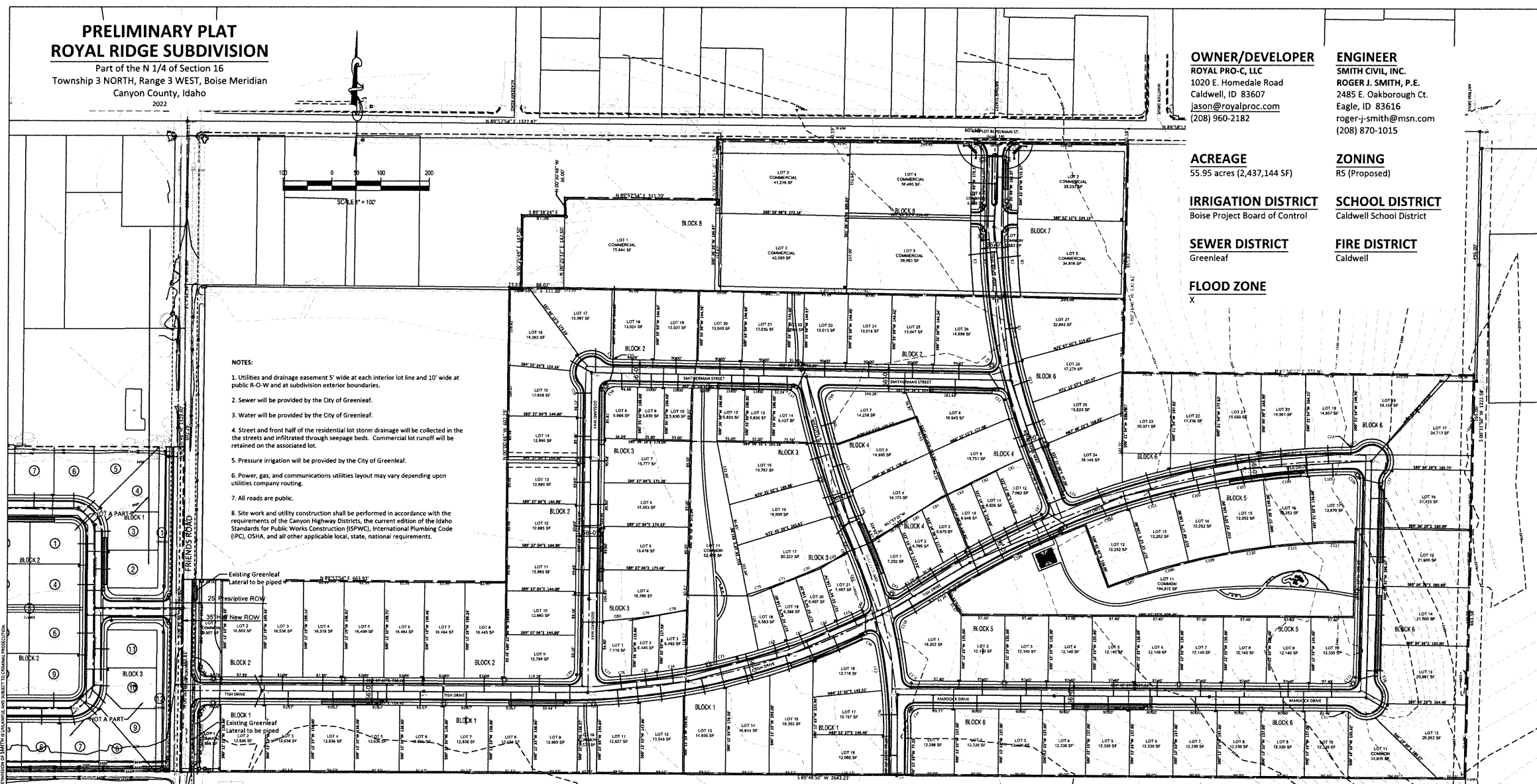
SEWER DISTRICT
Greenleaf

FIRE DISTRICT
Caldwell

FLOOD ZONE
X

NOTES:

- Utilities and drainage easement 5' wide at each interior lot line and 10' wide at public R-O-W and at subdivision exterior boundaries.
- Sewer will be provided by the City of Greenleaf.
- Water will be provided by the City of Greenleaf.
- Street and front half of the residential lot storm drainage will be collected in the streets and infiltrated through seepage beds. Commercial lot runoff will be retained on the associated lot.
- Pressure irrigation will be provided by the City of Greenleaf.
- Power, gas, and communications utilities layout may vary depending upon utilities company routing.
- All roads are public.
- Site work and utility construction shall be performed in accordance with the requirements of the Canyon Highway Districts, the current edition of the Idaho Standards for Public Works Construction (ISPWIC), International Plumbing Code (IPC), OSHA, and all other applicable local, state, national requirements.



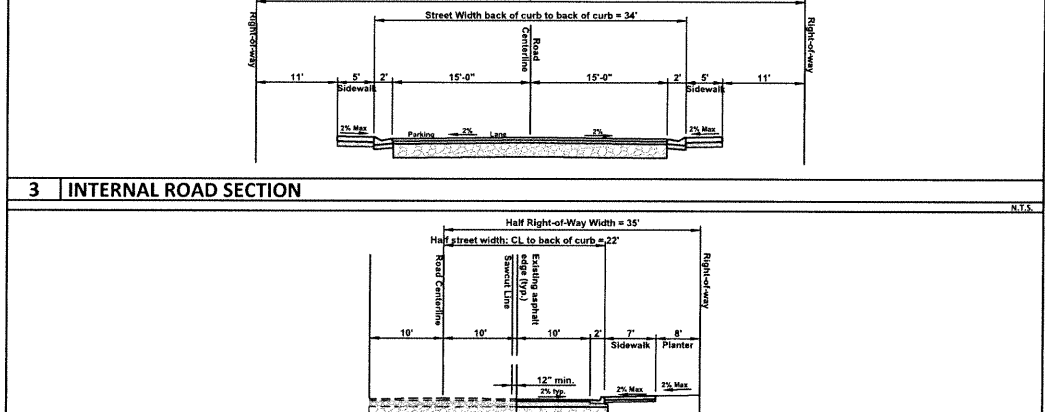
REVISED
Date
July 8, 2022
Project Number
22009
Drawn
R J Smith
Checked
R J Smith, P.E.

ROYAL RIDGE SUBDIVISION
HWY 19 & FRIENDS ROAD, GREENLEAF, ID
ROYAL PRO-C, LLC
PRELIMINARY PLAT

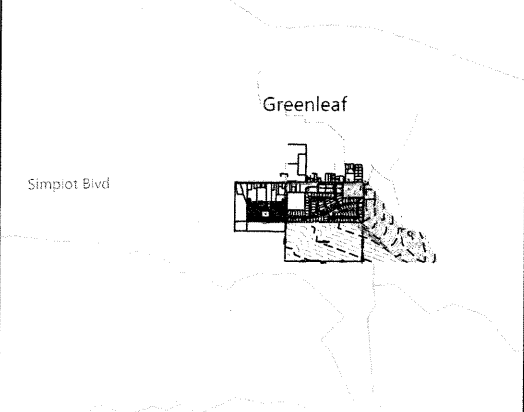
1 | PRELIMINARY PLAT

Curve #	Radius	Length	Chord	Chord Bearing	Delta	Curve #	Radius	Length	Chord	Chord Bearing	Delta	Curve #	Radius	Length	Chord	Chord Bearing	Delta
C01	100.00	100.00	100.00	90.00°	90.00°	C02	100.00	100.00	100.00	90.00°	90.00°	C03	100.00	100.00	100.00	90.00°	90.00°

3 | INTERNAL ROAD SECTION



2 | VICINITY MAP



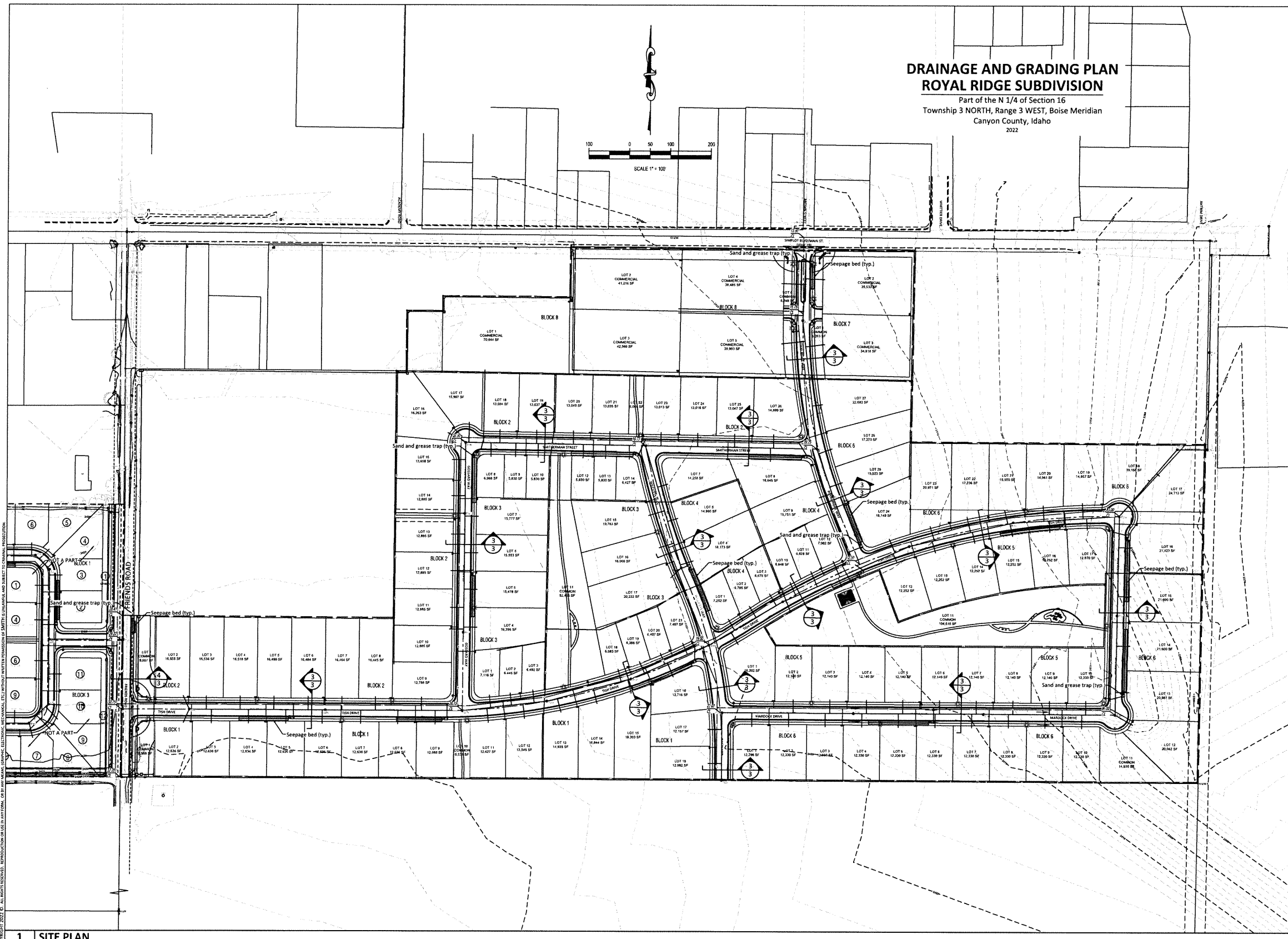
5 | CURVE TABLE

4 | FRIENDS ROAD WIDENING

2 | VICINITY MAP



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DRAINAGE AND GRADING PLAN
ROYAL RIDGE SUBDIVISION
 Part of the N 1/4 of Section 16
 Township 3 NORTH, Range 3 WEST, Boise Meridian
 Canyon County, Idaho
 2022

REVISED

Date
July 8, 2022

Project Number
22009

Drawn
R J Smith

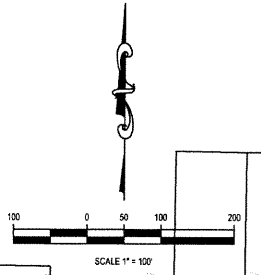
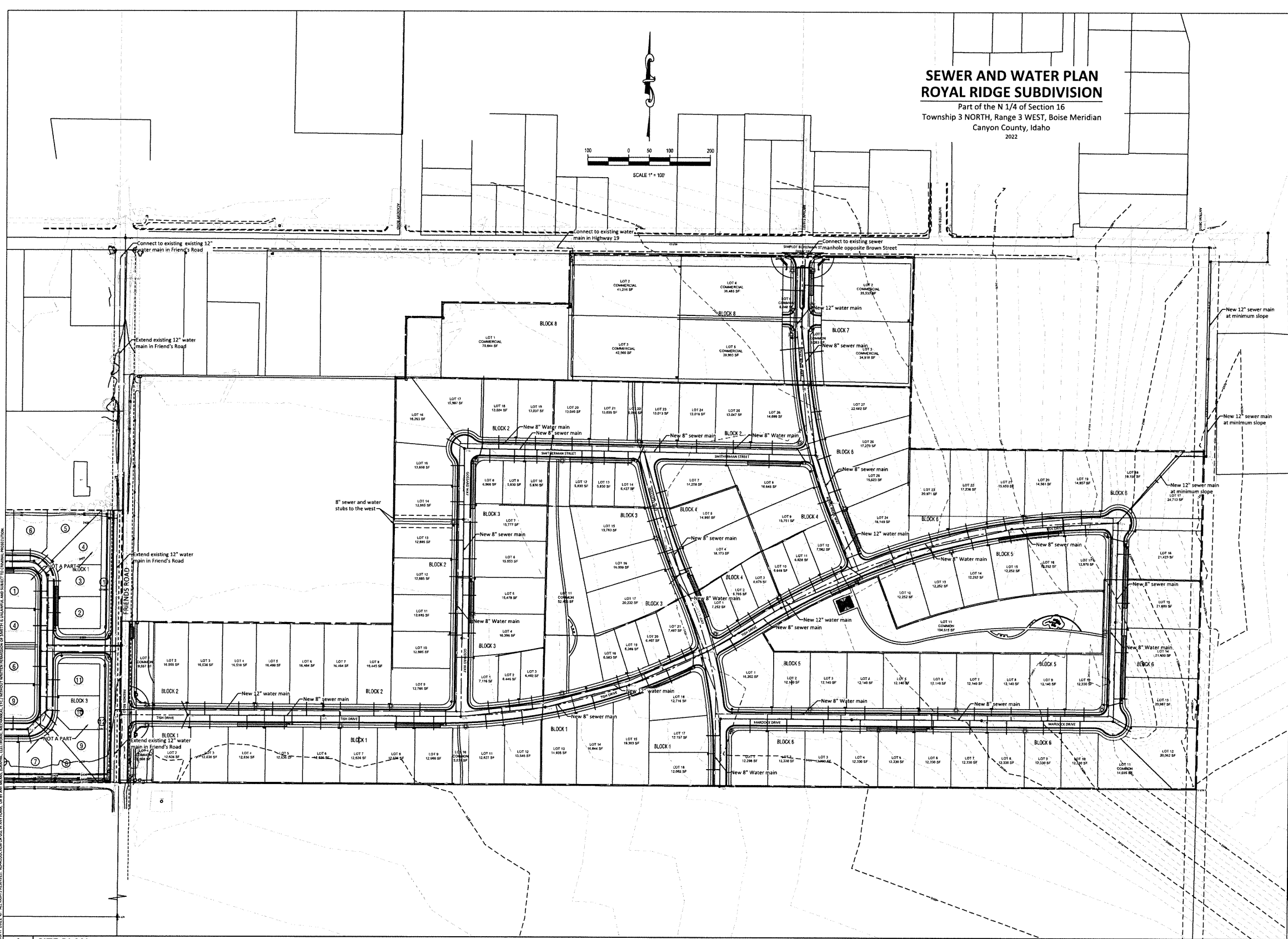
Checked
R J Smith, P.E.

ROYAL RIDGE SUBDIVISION
HWY 19 & FRIENDS ROAD, GREENLEAF, ID
ROYAL PRO-C, LLC
DRAINAGE AND GRADING PLAN



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SEWER AND WATER PLAN
ROYAL RIDGE SUBDIVISION
 Part of the N 1/4 of Section 16
 Township 3 NORTH, Range 3 WEST, Boise Meridian
 Canyon County, Idaho
 2022

REVISED

Date
July 8, 2022

Project Number
22009

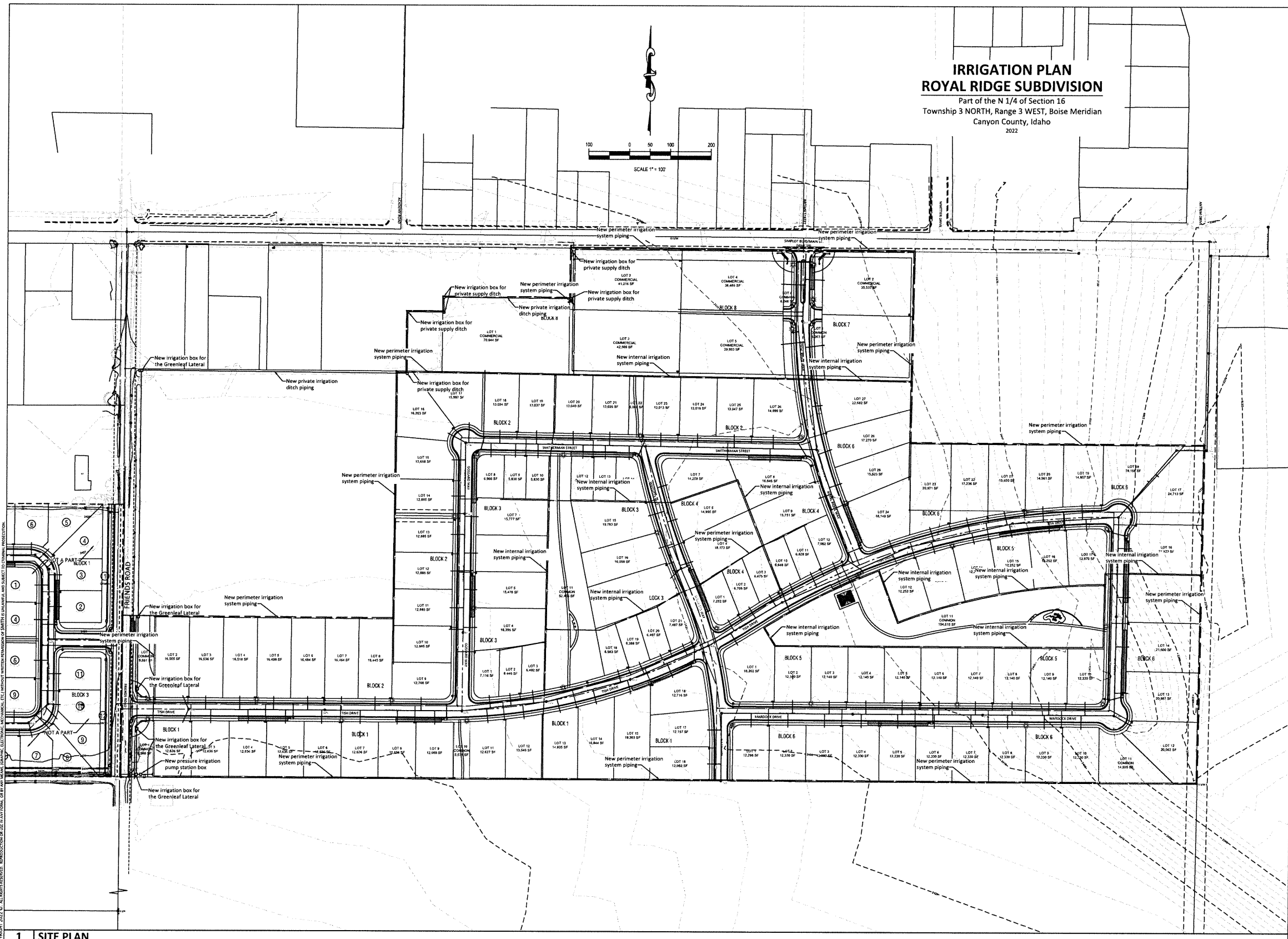
Drawn
R J Smith

Checked
R J Smith, P.E.

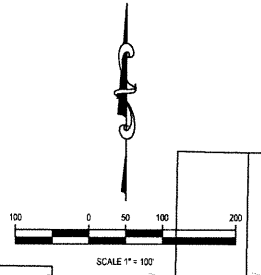
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HWY 19 & FRIENDS ROAD, GREENLEAF, ID
ROYAL PRO-C, LLC
SEWER AND WATER PLAN



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IRRIGATION PLAN
ROYAL RIDGE SUBDIVISION
 Part of the N 1/4 of Section 16
 Township 3 NORTH, Range 3 WEST, Boise Meridian
 Canyon County, Idaho
 2022



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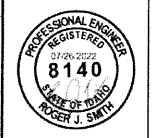
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Project Number
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Drawn
R J Smith

Checked
R J Smith, P.E.

ROYAL RIDGE SUBDIVISION
HWY 19 & FRIENDS ROAD, GREENLEAF, ID
ROYAL PRO-C, LLC
IRRIGATION PLAN



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